

Joint Meeting Ordinance Revision Review

Bulloch County Board of Commissioners
Bulloch County Planning and Zoning Commission
January 31, 2023



The Comprehensive Plan

Everything Starts with Smart Bulloch 2040



Character Area Planning

Importance of Planning

Provides Management Tools

- Provides vision
- Set priorities for day-to-day operations
- Guides many policies and regulations
- Protects public investments (capital outlays)
- Protects private property rights
- Supports and manages growth and development

Planning and Regulatory Tools Used

- Comprehensive Plan and Future Development Map
- I-16/US 301 Redevelopment Plan
- Master Recreation Plan
- Transportation Plan
- Regional Plans
- Zoning Ordinance and Map
- Subdivision Ordinance
- Building and Health Ordinances
- Clean Community Ordinance
- River Protection Ordinance
- Groundwater Recharge Area Protection Ordinances

What the Comprehensive Plan Looks At.....

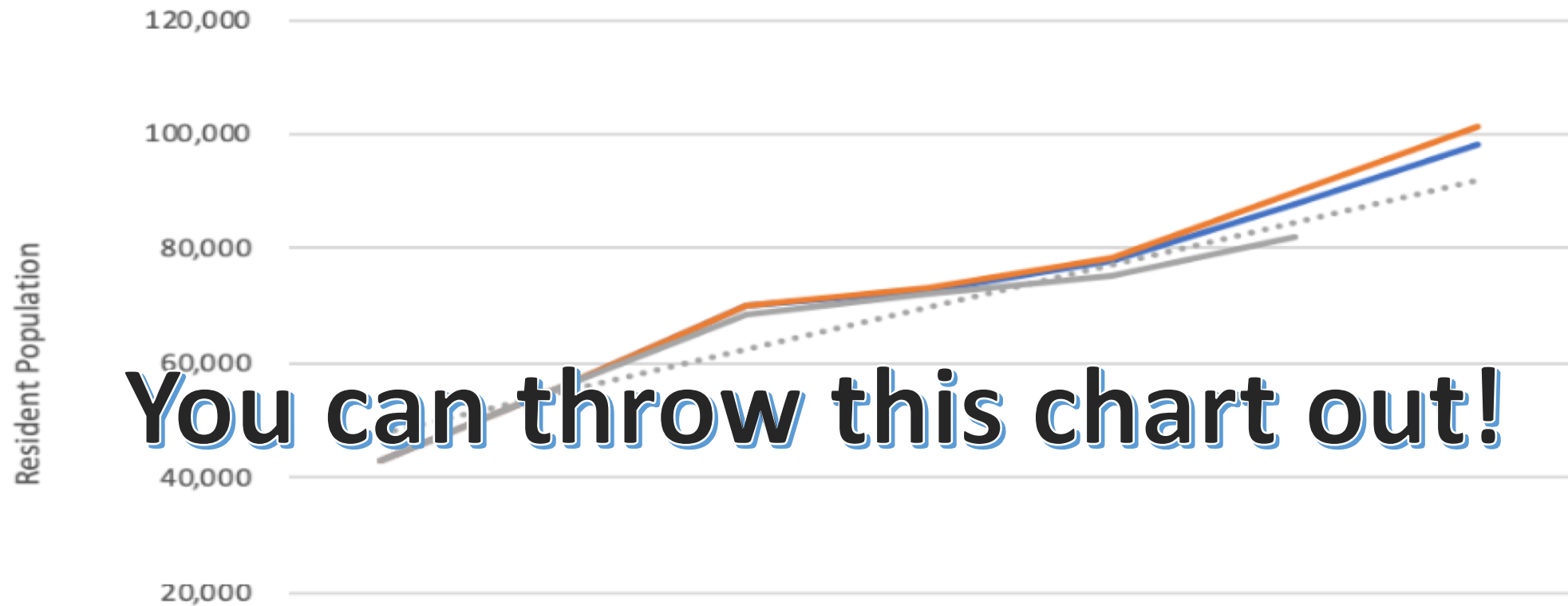
Plan Elements

- Needs and Opportunities
- Community Goals
- Broadband Services
- Economic Development
- Transportation (separate)
- Land Use
- Community Work Program

Other Factors Considered

- Community Involvement
- Coastal Regional Plan
- Coastal Regional Water Plan
- State Mandated Quality Community Objectives

Figure 1: Bulloch County Population Projections



You can throw this chart out!

	1990	2000	2010	2015	2020	2030	2040
County Staff	43,125	55,983	70,217	72,651	77,884	87,980	98,075
GA OPB	43,125	55,983	70,217	73,278	78,642	89,828	101,289
Georgia Tech	43,125	55,983	68,618	72,388	75,507	82,111	

SMART Bulloch 2040: Land Use/Character Area Goals for New Development

- Mixed Land Uses/Compact Design
Lower cost infrastructure, better design, more efficient use of land.
- Diversify Housing Choices
Build quality housing for people at all stages of life/income.
- Walkability
Create safe and convenient walkability with mixed land uses; make bike-pedestrian connections.
- Create a Sense of Place
Unique character areas reflect community values, culture, and heritage.
- Preserve Open Space
Protect sensitive environmental resources and rural character.

What is a Character Area?

- Creates an identity for geographic areas of the county:

Sense of place (look or feel)

Lifestyle (rural, suburban, urban)

Function (movement of people and goods)

What can Character Area Planning do for us?

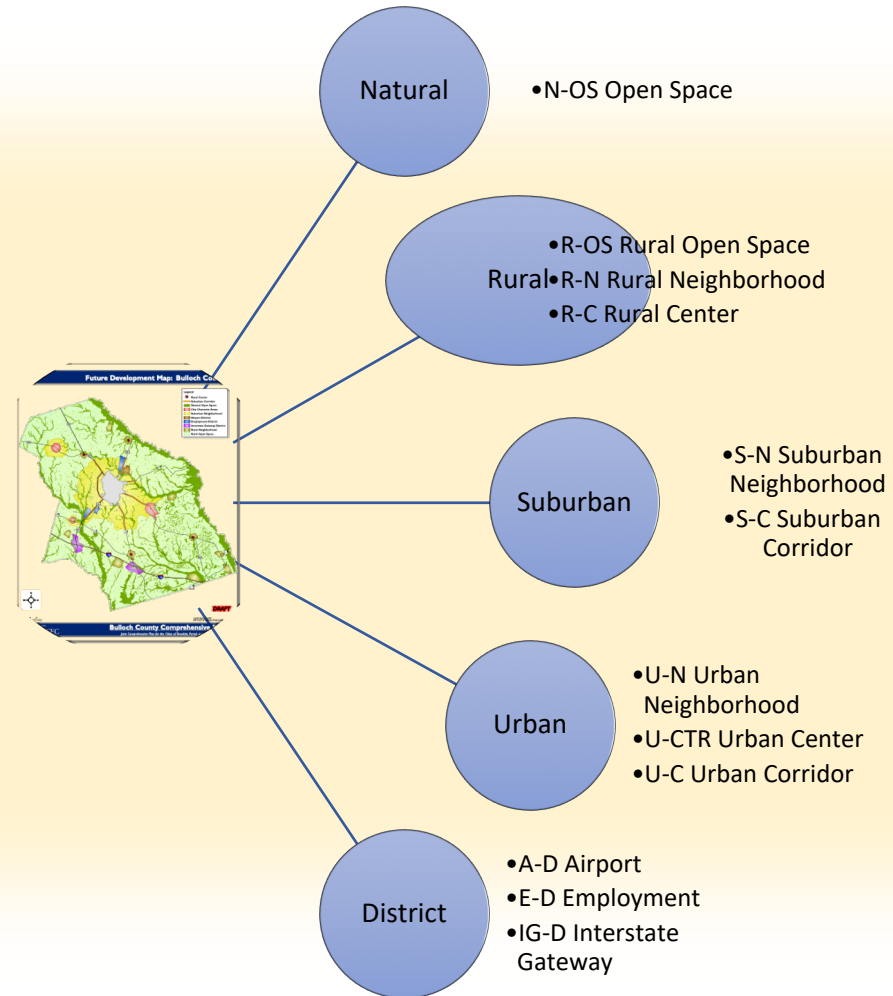
- Character area guidelines are placeholders for regulatory adjustment that can:

Direct growth to appropriate areas

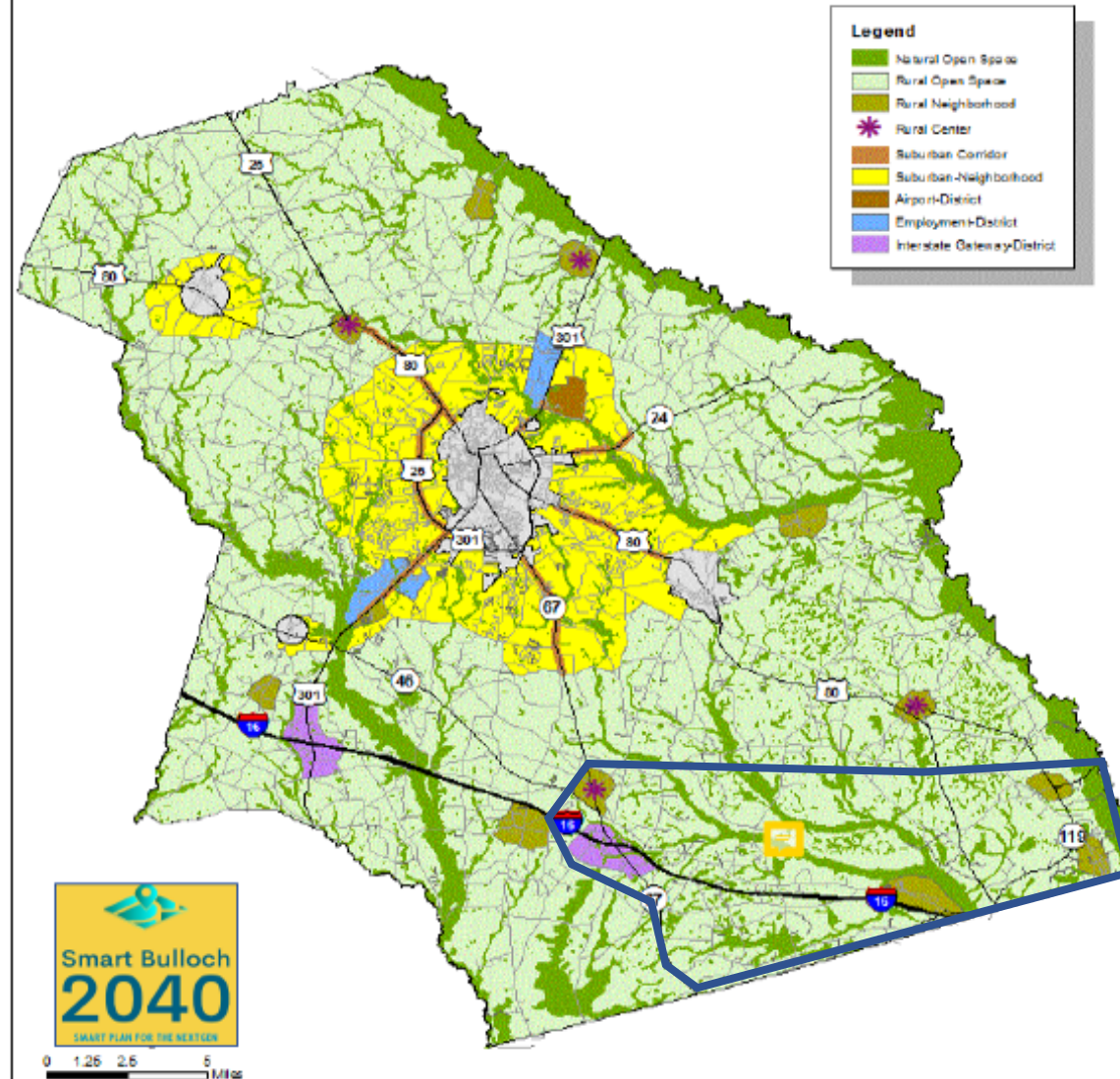
Make areas more attractive

Make public investment more efficient and lasting

Character Area Hierarchy



Future Development Map: Bulloch County



Bulloch County Comprehensive Plan

Joint Comprehensive Plan for the Cities of Brooklet, Portal, and Register

Character Area Acronyms (Urban Excluded)

- N-OS: Natural Open Space (Near Water Bodies; Rivers, Tributaries)
- R-OS: Rural Open Space (Anywhere Outside of Rural Centers/Neighborhoods)
- R-N: Rural Neighborhood (Ivanhoe, Olney, Leefield, New Hope, etc.)
- R-C: Rural Center (Denmark, Clito, Hopeulikit, Stilson, etc.)
- S-N: Suburban Neighborhood (Around all Cities)
- S-C: Suburban Corridor (US 301, SR 67, US 80/SR/25)
- A-D: Airport District (Statesboro-Bulloch County Airport)
- E-D: Employment District (Gateway and Holland Industrial Parks)
- IG-D: Interstate Gateway District (US 301, SR67)

Each Character Area has policies and principles to help guide regulations and land use decisions

Policies

- Intent and Purpose
 - Development Objectives
- Primary Land Uses
 - Density, Intensity, Type
- Applied Zoning Districts
 - AG-5, R, C, I, PUD, Overlay

Design Principles

- Site Design
 - Mass/Scale, Architecture/Aesthetics, Infrastructure
- Greenspace/Open Space
 - Landscaping, Scaled Parks, Buffers
- Transportation
 - Access, Connectivity, Pedestrian Amenities, Safety

POLICY: <i>Intent/Purpose</i>	N-OS	R-OS	R-N	R-C	S-N	S-C	A-D	E-D	IG-D
Preserve and protect open space	√	√	√						
Preserve rural character/agriculture	√	√	√	√	√				
Create sense of place/community			√	√	√	√			
Compact design/clustered buildings or pods			√	√	√	√			
Locate commercial nodes at key crossroads				√	√	√	√	√	
Neighborhood enhancement					√				
Planned new neighborhoods			√		√				
Corridor enhancement						√			
Compatible uses with aviation							√		
Planned industry and business - <i>minimize conflict with surrounding uses</i>							√	√	√
Planned mixed use development					√	√	√	√	√
Community gateways (I-16)									√

POLICY: <i>Primary Land Uses</i>	N-OS	R-OS	R-N	R-C	S-N	S-C	A-D	E-D	IG-D
Scaled civic uses (churches, parks)	√	√	√	√	√	√			
Large scale agriculture-forestry		√							
Cottage industry		√	√						
Small scale agriculture-forestry			√						
Low density residential - 1 du per 2 – 5 acres		√							
Medium density residential - 1-2 du per acre			√	√					
Medium density residential - 2-4 du per acre					√				
High density residential – 2-8 du per acre					√				√
Small scale commercial: Up to 12,000 sf					√	√			
Medium scale commercial/industrial: 12,000-39,999 sf						√	√	√	√
High scale commercial/industrial: 40,000+ sf						√			√
Mixed use – planned					√	√	√	√	√
Aviation related uses							√		

POLICY: <i>Applicable Zoning</i>	N-OS	R-OS	R-N	R-C	S-N	S-C	A-D	E-D	IG-D
Conservation-Preservation	√	√	√						
AG-5 Agricultural Residential	√	√	√						
R-80 Single Family		√	√	√					
R-40 Single Family				√					
R-25 Single Family					√	√			
R-15 Single Family									√
MHP Single Family									
R-2 Multi Family					√	√			
R-3 Multi Family					√	√			
NC Neighborhood Commercial				√	√	√			
GC General Commercial				√	√	√	√	√	√
HC Highway Commercial						√	√	√	√
LI Light Industrial							√	√	√
HI Heavy Industrial							√	√	√
PUD Planned Unit Development – Mixed Use					√		√	√	√
Overlay - Interstate-Gateway									√
<i>Overlay – Rural Center</i>				√					
<i>Overlay – Suburban Corridor</i>						√			
<i>Conservation Subdivision</i>	√	√	√						

DESIGN PRINCIPLES: Site Design	N-OS	R-OS	R-N	R-C	S-N	S-C	A-D	E-D	IG-D
Building setbacks with green space: deep		√	√						
Building setbacks with green space: <i>shallow-to-moderate</i>				√	√	√			
Building setbacks with green space: <i>moderate-to-deep</i>						√	√	√	√
Building footprints in relation to lot size: <i>small</i>		√	√						
Building footprints in relation to lot size: <i>moderate</i>				√	√				
Building footprints in relation to lot size: <i>moderate-to-large</i>						√	√	√	√
Floor area and impervious surface: <i>moderate</i>						√	√	√	√
Architectural diversity (<i>*rural vernacular</i>)			√	*√					
Master planned quality architectural design					√	√	√	√	√
Well-designed infrastructure – <i>sidewalks, streetlights, curb/gutter, water/wastewater, other utilities</i>					√	√	√	√	√
Controlled aesthetics					√	√	√	√	√
Amenities – <i>protected land, pedestrian trails/connections, plazas, active/passive recreation or open space</i>					√	√	√	√	√

DESIGN PRINCIPLES: <i>Green Space</i>	N-OS	R-OS	R-N	R-C	S-N	S-C	A-D	E-D	IG-D
Nature/wildlife parks	√								
Informal landscaping/natural setting for passive use	√	√	√	√					
Conservation subdivisions for clustered housing/preserve open space		√	√						
Formal landscaping and buffering to reduce conflicts			√	√	√	√	√	√	√
Streetscaping – beautification/buffering/safety					√	√	√	√	√
Neighborhood parks					√				
Community parks					√	√			
Regional parks						√			

DESIGN PRINCIPLES: <i>Transportation</i>	N-OS	R-OS	R-N	R-C	S-N	S-C	A-D	E-D	IG-D
Access local roads – <i>unimproved</i>	√	√	√	√					
Access local roads – <i>improved</i>		√	√	√	√				
Access collector roads – <i>improved</i>				√	√	√	√	√	√
Access arterial roads – <i>improved</i>					√	√	√	√	√
Managed off-street parking				√	√	√	√	√	√
Managed access – <i>controlled curb-cuts and traffic flow</i>				√	√	√	√	√	√
Accommodate heavy vehicles						√	√	√	√
Vehicular connectivity - <i>low</i>	√	√	√						
Vehicular connectivity – <i>moderate-to-high</i>				√	√		√	√	√
Vehicular connectivity - <i>high</i>					√	√	√	√	√
Safe and efficient circulation					√	√	√	√	√
Pedestrian connectivity – <i>low-or limited</i>	√	√	√	√				√	√
Pedestrian connectivity – <i>moderate-to-high</i>					√		√		
Pedestrian connectivity - <i>high</i>						√			
Paved on-site parking - <i>commercial-industrial</i>					√	√	√	√	√

Ordinance Revisions

Moratorium Work Program

- Amend the C-Plan's Future Development Map
Designate appropriate areas in SE Bulloch County for future residential and business development to limit sprawl.
- Update Zoning and Development Related Codes
Reduce the number of routinely approved zoning conditions.
Reflect new trends in construction and land uses.
Align with policies and design principles of the Comprehensive Plan.
- Advance on-going planning for new infrastructure and services in SE Bulloch, (water-sewer and transportation, parks, public safety).

Development Code Updates: Time Sensitive*

Primary Revisions (immediate need)

- Zoning*
- Subdivision Regulations*
- Commercial Off-Street
Parking/Loading/Driveways*

Secondary or Parallel Revisions (to be continued or ongoing)

- Stormwater and Drainage
- Signs
- Interim Water and Sewer (new)

Developer v. County Concerns

Developer Concerns (i.e. Money)

- Location
- Design
- Marketability
- Regulatory Costs
- Profit

County Concerns (Keep Everybody Happy)

- Proper Utility Installation
- Proper Infrastructure
- Health and Safety
- Neighborhood Compatibility
- Good Design
- On-Site/Off-Site Effects
- Coordination and Compliance

Subdivision Regulations

Subdivision Regulation Revisions: Goals

- Increase developer and contractor accountability with changed standards.
- Changed standards are similar to peer counties (Bryan, Camden, Jackson, Lowndes, Troup, Glynn)
- Rearranged sections to reduce the narrative, adding a more tabular format for ease of reading
- Prevent Bulloch County from accept poorly designed substandard subdivisions and infrastructure resulting in higher taxpayer costs and public safety issues

Subdivision Regulation Revisions: Plan Review Requirements

Changes

- Developers will have to follow stricter submission and review deadlines
- Type and detail of information to be submitted will increase

Result

- Better communication about expectations
- More thorough staff review
- Better decision making by boards
- Over time, fewer complaints and corrective actions required in the field

Subdivision Regulation Revisions: Plan Review Requirements

Changes

- Developer design and infrastructure costs will increase
 - As-built plan
 - Performance guarantees
 - Phasing plan
 - Special studies
- Planned developments will have to submit conceptual site plans to P/ZC

Result

- Staff gets better information
- Improve review/inspections efficiency
- Installed infrastructure will be less costly to maintain for taxpayers and county
- Commercial conceptual plans will ensure compliance with standards

Subdivision Regulations Revisions: Key Required Improvements

- SDs with 100+ lots will be required to resurface access road entrance
- No COs issued until required buffers, screening and landscaping is in
- Decorative street lighting required in subdivisions with 11+ lots/units
- Extension of streets to adjoining properties where future development is likely
- SDs over 50 units/50 parking spaces will require more than one access point, up to four

Subdivision Regulation Revisions: Key Required Improvements and Design Standards

Changes

- Inverted crown roads*
- Sidewalks*
- Shorter road lengths (blocks and cul-de-sacs)
- More access points
- Accel/decel/turn lane warrants

Result

- Safety
- Better design

INTERMISSION?

Zoning Ordinance Revisions

Why have we used zoning conditions?

- To specify the use
- Mitigate the negative effects or impacts on neighboring properties
- Ensure that the spirit/intent of the comprehensive plan and ordinances are followed
- Make up for weaknesses in our ordinances.

Typical Conditions

- Specify use (speculative zoning prohibited)
- Timing/phasing of larger projects
- Architecture (façade expression; use of building materials)
- Signage
- Access management and internal circulation
- Stormwater
- Parking
- Outdoor lighting
- Buffers and landscaping
- Internal circulation
- Special studies (traffic, landscaping, stormwater, etc.)
- Required improvements

Major Changes

- Update and modernize definitions
 - Support expanded use charts and supplemental standards and add depth and clarity
- Update and modernize buffer, screening and landscaping which were too vague and impractical to enforce
 - Added 13 types of buffers, fencing or transitions are required with design standards and plan submission requirements
- Updated use charts and tables to align with definitions and supplemental standards
- Added supplemental standards for 45 types of uses that are typically reviewed
 - Minimize zoning conditions, minimize negative impacts on neighboring properties, implement state and federal laws, ensure orderly development

Buffers: Purpose

- Buffering, screening and landscaping helps to:
 - Separate incompatible uses through screening and distance.
 - Provide privacy and security, shield or block effects of potential nuisances:

Noise

Dust/dirt

Glare

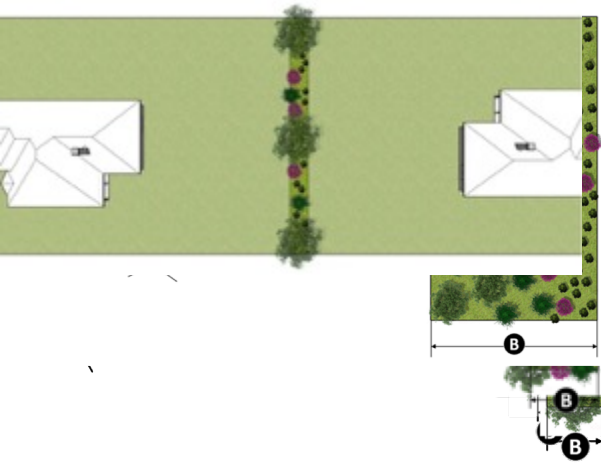
Litter

Buffers:

General Provisions

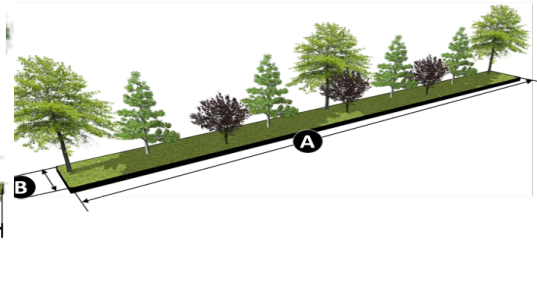
- Some specific uses with supplemental standards will require increased buffer widths
- Exemptions for ag/forestry uses and single-family subdivisions of 5 dwelling units or less.
- Existing vegetation considered, if determined adequate; financial hardship not a factor.
- Vinyl chain-link fencing as a screening device is only permitted for side and rear yards in commercial development
 - Must be dark vinyl if facing street.
- Minimum landscape installation requirements (size type, placement)
- No COs or future development phases permitted unless installed landscaping meets compliance with landscape plan
- Landscape buffer easements shall be recorded with the title

Required Buffer Circumstance	Minimum Landscape Buffer Width and/or Required Screening Device	Zoning Districts with Uses Where Buffer is Required
Back-to-back lots in multi-family developments	8' landscape buffer width from the rear of the building or structure, or a wall, fence or berm	R-3, PUD-2, PUD-3
Recreation Facility, Outdoor Private	8' landscape buffer width from the rear of the building or structure, or a wall, fence or berm	Planned Residential Districts
Off-street parking and circulation for any use with 10-50 spaces (3,250 s.f. - 16,250 s.f.)	8' landscape frontage buffer width when visible from a public street	R-3, HC, GC, NC, HI, LI, PUD-2, PUD-3
Off-street parking and circulation for any use with more than 50 spaces	15' landscape frontage buffer width when visible from a public street	R-3, HC, GC, NC, HI, LI, PUD-2, PUD-3
Service, loading and outdoor storage areas	An approved wall or fence	HC, GC, NC, HI, LI, PUD-2, PUD-3, MHP
Mechanical equipment	An approved wall or fence (roof mounted equipment shall be screened by a parapet or an enclosed wall)	HC, GC, NC, HI, LI, PUD-2, PUD-3
Refuse containers (dumpster)	An approved wall or fence	All zoning districts except AG-5
Community water system well (on-site)	8' landscape buffer width when visible from a public street or adjoining properties (or an approved wall, fence or berm)	All zoning districts except AG-5
Road frontage where new residential lots or units will have side or rear yards abutting a road	15' landscape frontage buffer width from back of right-of-way (or 8' with an approved fence or wall)	R-40, R-25, R-15, R-2, R-3, PUD, MHP
Road frontage for commercial and industrial uses	15' landscape frontage buffer width from right-of-way (or 8' with an approved wall, fence or berm)	HC, GC, NC, HI, LI, PUD-2, PUD-3
Single and two-family planned residential development abuts, residences and vacant parcels	25' landscape buffer width along the side and rear property line of adjoining properties (or 15' with a wall, fence or berm)	R-80, R-40, R-25, R-15, MHP, PUD-1, PUD 2
Mixed use or higher residential density abuts lower density residential district, residences or vacant parcels	25' landscape buffer width along the side and rear property line of adjoining properties (or 15' with a wall, fence or berm)	R-2, R-3, MHP, PUD-1, PUD-2
Planned commercial or industrial development abuts AG-5, residential district, residences, mixed use or vacant parcels	25' landscape buffer width from side and rear property line of adjoining properties (or 15' with a wall, fence or berm)	HC, GC, NC, HI, LI, PUD-2, PUD-3

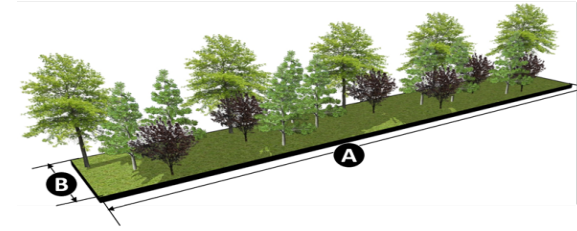


Illustrative examples of buffers, screening and landscaping

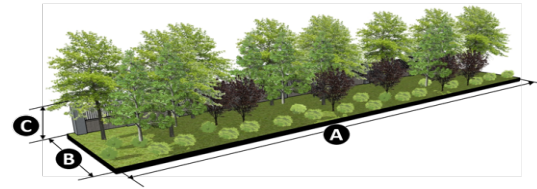
10-foot wide buffer (length scale: 100 feet)



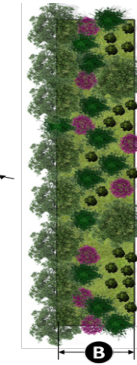
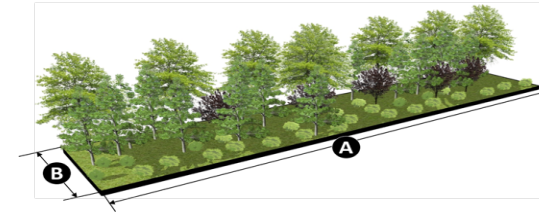
15-foot wide buffer (length scale: 100 feet)



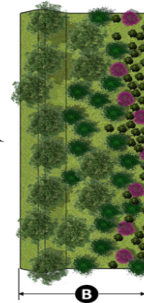
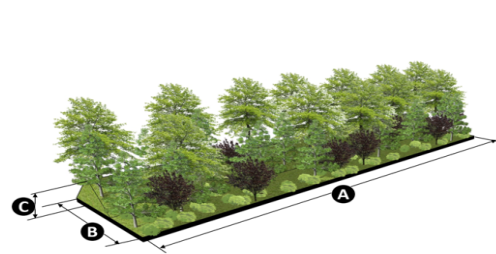
15' wide buffer with a 6' high fence (length scale: 100 feet)



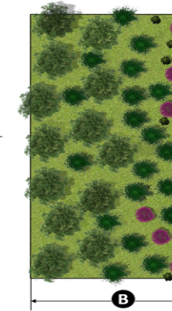
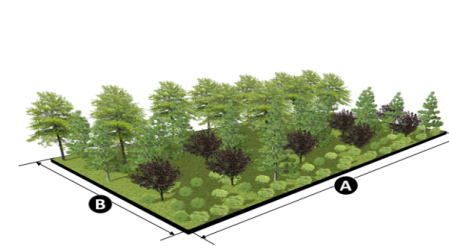
20-foot wide buffer (length scale: 100 feet)



25' wide buffer with a 6' high landscape berm (length scale: 100 feet)



50-foot wide buffer (length scale: 100 feet)



8-foot wide buffer for a back-to-back lot

Supplemental Standards for Specific Uses

- Deeper buffer widths and additional screening.
- Deeper setbacks or separation from incompatible uses.
- Separation of uses from each other (liquor, tattoo and pawn shops, etc.)
- Minimum/maximum lot sizes.
- Minimum road frontages.
- Access only on arterials roads (for larger scale/traffic operations).
- Limits on hours of operations.
- Downcast or recessed lighting fixtures.
- Prohibitions on temporary or mobile structures.
- Noise restrictions.
- Restrictions on outdoor service work (screening; indoors)
- Architectural standards.
- Signage standards.
- Health department standards.
- Performance standards to ensure completed work (No CO until landscaping, infrastructure, etc).

Specific Uses:

*Standards Were Already in Place

*Accessory uses.

Asphalt or concrete plant (temporary or permanent).

Automotive sales and rental facilities, and commercial and industrial machinery and equipment sales and leasing facilities.

Automotive repair, and automotive oil change and lubrication shop.

Bed and breakfast inn.

Boarding house.

Building Material Dealers.

*Cemeteries.

*Church or place of worship.

*Commercial cryptocurrency mining operation.

Commercial vehicle washing facilities.

Contractor.

*Day care facility, residential zone.

Drive through facility (principal and accessory).

Electric vehicle charging station (public use).

*Family or group personal care home (agricultural-residential zone, or residential zone).

*Farm winery.

Freight Trucking Facility

Gasoline station with convenience store.

*Home occupation, cottage industry.

*Home occupation, residential.

Hotel, extended stay.

*Junk yard, salvage and auto wrecking yard.

Liquor stores.

Manufactured home and prefabricated building dealers.

Mini-warehouses and self-storage units.

Natural resource development.

Outdoor seasonal sales, transient merchants and mobile vendors.

Pawn shop, check cashing and small loan establishments.

Planned commercial development, large-scale.

Planned commercial development, medium scale.

Planned commercial development, small scale.

Planned residential developments with multi-family dwellings, including mixed-use or mixed residential developments.

Planned residential developments with single-family and/or two-family dwellings, including mixed-use and mixed-use residential developments.

*Private and public event facilities.

Recreation facility, outdoor commercial.

Recreation facility, outdoor private.

Recreational vehicle park and campground.

*Solar electric power generation.

Tobacco shops, vape shops and hookah lounges.

Tattoo shop (including body piercing).

Temporary occupancy unit.

*Transfer station.

*Utility substation.

Variety store (dollar stores).

Veterinary services, and commercial and private kennels.

*Wastewater pre-treatment facility.

Examples of Specific Use Application With Standards

Section 1445: Variety store (dollar stores, etc.).

- No new establishment shall be located within 1.0 mile of an existing establishment.
- Buildings or structures shall be 250 feet from any residence.
- Hours of operation are limited to 7:00 a.m. to 9:00 p.m., including all deliveries.
- Maximum building size of 12,000 square feet.
- Minimum lot size of 2.0 acres.
- No merchandise for sale including vending machines shall be permitted outside of the building.
- The buffer width shall be 2.0 times the minimum required with an approved fence, wall or berm.
- Access shall only be from an arterial or collector road.
- Use of sound amplification devices is prohibited.
- A minimum of 20% of the site shall be landscaped, not including buffers.
- Facades over 50' in length shall provide wall projections/recesses with a minimum of 1' in depth; a minimum of 10' contiguous in length for each 100'.
- A minimum of 25% of facades visible from a public street shall consist of window (real or faux) and door openings.
- Parapets, gable and hip roofs or dormers shall be used to conceal flat roofs and roof top equipment from public view.
- Temporary or portable structures for offices or storage is prohibited.
- Seasonal, transient merchants and mobile vendors shall follow requirements of this ordinance.

Section 1440: Planned commercial development, small scale (up to 12,000 sf)

- Buildings or structures shall be 100 feet from any residence.
- Primary access from an arterial road, or a collector road if in a General Commercial or Neighborhood Commercial zoning district.
- Supplemental standards for drive-through facilities, and seasonal, transient merchants and mobile vendors shall be observed.
- Sound amplification devices is prohibited.
- Primary building materials shall be 75%, brick, brick veneer, stacked stone, marble, split face block/concrete masonry unit, finished concrete tilt up, concrete masonry unit, or finished concrete block.
- Secondary materials can include natural wood, metal, aluminum, stucco, exterior insulation and finish systems, engineered fiber cement board, or composite vinyl siding.
- Pre-engineered steel buildings shall have facades consisting of primary and secondary materials to minimize the static appearance.
- Muted and earth tone colors. Building trim, accent areas, and entrance doors may feature brighter colors.
- Facades over 50 feet in length shall provide wall projections or recesses with a minimum of 1.5' in depth and a minimum of 10' in length for each 50'.
- 25% of the facades visible from a public street shall use arcades, display windows (real or faux), entry areas and awnings, or any combination thereof.
- Parapets, gable and hip roofs or dormers shall be used to conceal flat roofs and roof top equipment from public view.
- Areas for outdoor storage, truck parking, loading and unloading, refuse collection or compaction or similar uses shall not be visible from a public right-of-way, and have approved screening devices.
- Temporary or portable structures for offices or storage is prohibited.
- Landscape plans prepared by a licensed landscape architect, architect, or engineer legally registered under the laws of this state.
- Plant material shall be of native plant species and meet number 1 grade American Nursery and Landscape Association standards.
- 5% of the entire area devoted to parking spaces, aisles and connecting driveway shall be landscaped with any combination of trees, shrubs, grass or ground cover.
- Interior landscape islands with raised curbing is required for parking lots of 20+ spaces, and designed having minimum width of 10', and a minimum length of the required parking space(s).
- The landscape frontage strip must be 20' wide for sites containing 50+ parking spaces.
- 40% of the parking and circulation space shall be on the sides of the building frontage.
- Submit a photometric plan to enable the evaluation of impacts from illumination and that are compliance with the outdoor lighting requirements.
- Parking lot lighting poles and fixtures shall complement the overall site architecture and design in terms of scale, color, and style, and shall not exceed 20' in height.
- Roof mounted lighting or backlit awnings are prohibited.
- All outdoor lighting fixtures must be recessed and downcast and shall not produce glare or a nuisance to drivers or the surrounding properties. All canopy lighting shall be recessed into its ceiling.

Variety Store

Not so Good



Better



NORTHEAST CORNER ELEVATION
(@ CORNER OF RIO LINDA BLVD. & M ST) 2

Section 1433: Planned residential developments with single-family and/or two-family dwellings, including mixed-use and mixed residential developments

- There should be distinctly different front façade designs for each dwelling unit including variation in width or height, roof planes, location and proportion of front porches and garages. Mirror images or repetition of the same configuration of each dwelling are prohibited.
- Each structure should have a minimum of two roof planes and two wall planes incorporated into the front elevation.
- Except for trim, each dwelling unit should have a primary and secondary material coverage on the front and side building façade.
- If the primary materials and finishes except for trim and accents include aluminum or vinyl siding, then secondary materials and finishes are required to consist of 25% natural wood, brick, brick veneer, stacked stone, unglazed tile, fiber-cement, or a combination thereof.
- No certificate of occupancy for the principal structure shall be approved unless:
 - the installed landscaping materials in a previous phase have been poorly maintained or require corrective action; inspections performed after the final inspection (for project release by phase) subject to re-inspection fees schedules approved by the Board of Commissioners.
 - foundation landscape beddings with plant material and mulched installed to front and side yards extending to the rear drip line.
 - an installed permanent stand of seeded turfgrass, sprigs or sod established for the front and side yards extending to the rear drip line exclusive of designated landscape beddings to abate soil erosion, and with the current phase of development complying with County erosion control and sedimentation standards.
- Street lighting within the development will only be allowed under a county streetlight special tax district.
- Night-time intersection lighting at primary subdivisions entrances will be required, with the cost for installation and maintenance to be borne by the developer or a common interest element.
- All outdoor lighting fixtures must be recessed and downcast and shall not produce glare or a nuisance to drivers or the surrounding properties.

Residential Building Materials

Vinyl Siding Only



Mix



Section 1406: Automotive repair, and automotive oil change and lubrication shop.

- Buildings or structures shall be 250 feet from any residence.
- Minimum lot size of 1.0 acre.
- Hours of operation are limited to 7:00 a.m. to 9:00 p.m.
- Minimum road frontage of 200 feet.
- Access shall only be from an arterial road.
- All service work, maintenance and repair, sales of accessory merchandise, body work, and vehicle washing shall be conducted in an enclosed building that is within a permanent structure.
- All outdoor lighting fixtures must be recessed and downcast and shall not produce glare or a nuisance to drivers or the surrounding properties.
- Temporary or portable structures for offices or storage is prohibited.
- Service bays with overhead doors shall not face a public road (unless provisions are made for screening them, or there is no reasonable alternative).
- Outside storage of parts, supplies and junk, or parking of non-operable vehicles or vehicles with body damage is prohibited.
- Vehicles and equipment approved for repair or service shall be parked and stored on a paved asphalt or concrete surface in a fully screened location on the rear or side lot, or within a building. They shall not encroach a buffer area or a public right-of-way, and be segregated from employee or service area parking.
- Adequate space must be allocated, specifically identified, and reserved on the site for the unloading of vehicles and equipment brought to the site by carriers.
- Vehicles for sale, limited to three, shall be parked in designated parking spaces that do not encroach buffers or in public right of ways.

Section 1440: Planned commercial development, small scale (up to 12,000 sf)

- Buildings or structures shall be 100 feet from any residence.
- Primary access from an arterial road, or a collector road if in a General Commercial or Neighborhood Commercial zoning district.
- Supplemental standards for drive-through facilities, and seasonal, transient merchants and mobile vendors shall be observed.
- Sound amplification devices is prohibited.
- Primary building materials shall be 75%, brick, brick veneer, stacked stone, marble, split face block/concrete masonry unit, finished concrete tilt up, concrete masonry unit, or finished concrete block.
- Secondary materials can include natural wood, metal, aluminum, stucco, exterior insulation and finish systems, engineered fiber cement board, or composite vinyl siding.
- Pre-engineered steel buildings shall have facades consisting of primary and secondary materials to minimize the static appearance.
- Muted and earth tone colors as the predominant colors on the façade is preferred. Building trim, accent areas, and entrance doors may feature brighter colors.
- Facades over 50 feet in length shall provide wall projections or recesses with a minimum of 1.5' in depth and a minimum of 10' in length for each 50'.
- 25% of the facades visible from a public street shall use arcades, display windows (real or faux), entry areas and awnings, or any combination thereof.
- Parapets, gable and hip roofs or dormers shall be used to conceal flat roofs and roof top equipment from public view.
- Areas for outdoor storage, truck parking, loading and unloading, refuse collection or compaction or similar uses shall not be visible from a public right-of-way, and have approved screening devices.
- Temporary or portable structures for offices or storage is prohibited.
- Landscape plans prepared by a licensed landscape architect, architect, or engineer legally registered under the laws of this state.
- Plant material shall be of native plant species and meet number 1 grade American Nursery and Landscape Association standards.
- 5% of the entire area devoted to parking spaces, aisles and connecting driveway shall be landscaped with any combination of trees, shrubs, grass or ground cover.
- Interior landscape islands with raised curbing is required for parking lots of 20+ spaces, and designed having minimum width of 10', and a minimum length of the required parking space(s).
- The landscape frontage strip must be 20' wide for sites containing 50+ parking spaces.
- 40% of the parking and circulation space shall be on the sides of the building frontage.
- Submit a photometric plan to enable the evaluation of impacts from illumination and that are compliance with the outdoor lighting requirements.
- Parking lot lighting poles and fixtures shall complement the overall site architecture and design in terms of scale, color, and style, and shall not exceed 20' in height.
- Roof mounted lighting or backlit awnings are prohibited.
- All outdoor lighting fixtures must be recessed and downcast and shall not produce glare or a nuisance to drivers or the surrounding properties. All canopy lighting shall be recessed into its ceiling.

Auto Repair Shop

Not so good



Better



Section 1428: Mini-warehouses and self-storage units.

- Buildings or structures shall be 100' from any residence.
- Buffer with shall be 2.0 times the minimum required with an approved fence, wall or berm.
- Minimum lot size shall be 2.0 acres.
- Access shall only be on an arterial road, unless located in a planned industrial park.
- Overhead access doors of individual bays shall not face any road frontage, without screening.
- Building facades shall have muted earth tone colors.
- All outdoor lighting fixtures must be recessed and downcast and shall not produce glare or a nuisance to drivers or the surrounding properties.
- Storage buildings or structures shall have gabled roofs with a 2:12 slope.
- No individual building shall exceed 200' in length.
- Minimum separation of 20' between buildings.
- Minimum driving aisle width shall be 18' for one-way traffic and 3' for two-way traffic.
- Traffic flow patterns in the aisle ways shall be clearly marked with directional signage and painted lane markings with arrows.
- To assure appropriate access and circulation by emergency vehicles and equipment, a minimum turning radius for all aisle ways and access roads within the development will be determined by the Fire Chief and County Engineer.
- Maximum size of a storage bay shall be 1,000 square feet.
- The facility shall be fenced along the entire perimeter boundary.
- Fencing adjacent to a road frontage or abutting a residential use shall be a decorative with a minimum height of 6', and shall be placed interior to any required landscape strip.
- Storage units shall not be used to manufacture, fabricate, or process goods; service or repair vehicles, boats, small engines or electrical equipment, or to conduct similar repair activities; conduct garage sales or retail sales of any kind; rehearsing or practicing utilizing band instruments; conversion to an apartment or dwelling unit; or to conduct any other commercial or industrial activities, or for the storage of hazardous materials, toxic substances, flammable liquids, or highly combustible or explosive materials.
- Open storage of recreational vehicles, boats, trailers, recreational equipment and similar vehicles of the type customarily maintained by private individuals for their personal use shall be permitted subject to the total area devoted to open storage shall not exceed 25% of the site.
- No vehicle maintenance, washing, or repair shall be permitted within the open storage area.
- Abandoned, wrecked or junked vehicles are prohibited.
- A leasing, management, and/or security office shall be permitted in conjunction with a self-service storage facility. Within such office, the sale or rental of items related to moving and storage such as moving boxes, packing supplies and hand trucks shall be permitted.
- Temporary or portable structures for offices is prohibited.

Self-Storage Facility

Not so good



Better



Stormwater and Drainage Ordinance (New)

Purposes

Provide standardized engineering specs for drainage infrastructure based on BMPs.

Prevent flood damage and nuisances.

Maintain topographical flow.

Tied to grading and erosion control.



Commercial Off-Street Parking, Loading and Driveways

Commercial Off-Street Parking, Loading and Driveways

- Current standards are 30 years old – obsolete and vague
- New ordinance

Expands and addresses modern land uses

Flexible standards for required minimum and maximum number of required spaces; shared parking to reduce curb cuts; carpool/vanpool reductions

Engineering requirements for design of access driveways, internal circulation and loading spaces

Engineering requirements for drainage and paved surfaces
Addresses updated ADA requirements



Example of vegetated bioswales within parking islands at Riverfront Park, Pottstown, PA.



This parking lot is solid paving with no trees, a bad example of parking lot design.



Water and Sewer

Interim Water and Sewer Ordinance

- Enable responsibilities for the utility such as:
 - Develop a master plan
 - Develop financial, business and operations plans
- Establish regulations for system connections including:
 - Developer agreements
 - Mandatory hook-ups
 - Installation of dry lines or side lines/package systems (with de-commissioning)
- Enable rate studies and setting
- Enable interlocal agreements
- Enable interim engineering standards (pipe sizing, meters, etc.)
- Easement requirements

Feedback Loop Issues

- Sidewalks (with curb and gutter) v. inverted crown roads
- Community water systems

Feedback Loop Issue: Sidewalks

For:

- Improved health
- Pedestrian safety (road separation)
- Attractiveness
- Socialization with neighbors
- Can improve property values

Against:

- “I don’t walk or bike”
- Preserve “rural feel”
- Loss of part of front yard
- Privacy
- Public maintenance costs

The Case for Sidewalks

Improved health

Pedestrian safety (road separation)

Attractiveness

Socialization with neighbors

Can improve property values



The Case Against Sidewalks

“I don’t walk or bike”

Preserve “rural feel”

Loss of part of front yard

Privacy

Public maintenance costs



Sidewalks

Standards

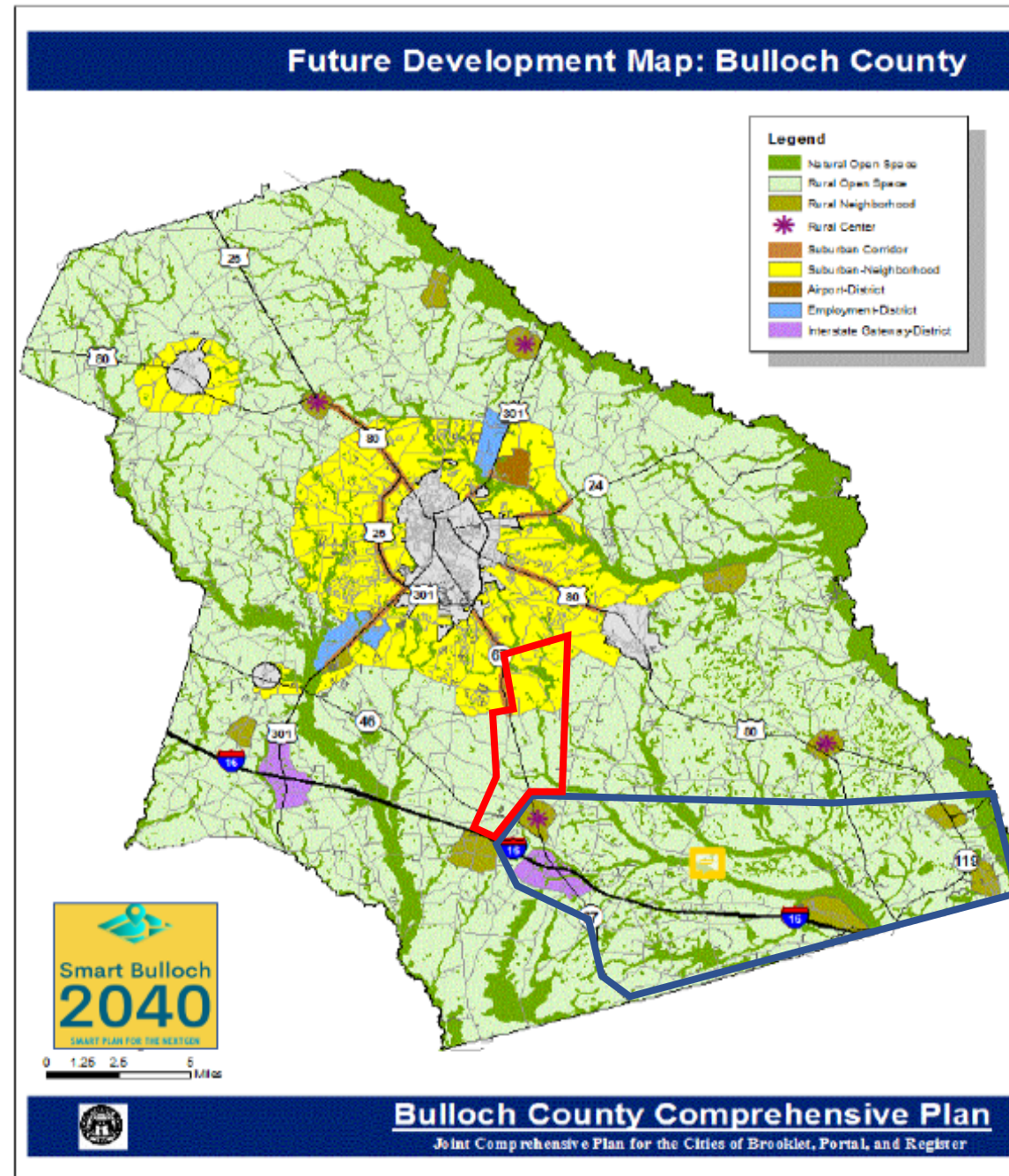
- External sidewalk required:
 - On a collector or arterial road.
 - Within 0.5 mile of a school or bus stop, public park, or medium scale commercial area or development.
 - At an abutting property or nearby property where a connection can be made to an existing sidewalk system.
- Internal sidewalk required:
 - 100 lots or more with R-25 density or higher density????
 - Lots with an average street frontage of 100' or less.
 - Streets > 1,200' in length; both sides of the road.
 - Streets < 1,200' in length; one side, unless it is a cul-de-sac less than 800' in length
- Specifications:
 - 4' wide internal; 5' wide external
 - 3' wide planting strip
 - 1.5' wide rolled curb and gutter – internal
 - 2' wide vertical curb and cutter - external
 - 4" thick; 3,000 psi at 28 day strength

Zoning

- PUD
- Overlay Zones
- HC, GC, NC
- R-2, R-3, R-8, R-15
- R-25 (maybe....)

Feedback Loop Issues: Community Water Systems

WATER ISSUE AND R-25



Recommendations

- Move forward with zoning and subdivision regulations, off-street parking to the P/ZC, and then BOC by April 5.
- Stormwater and interim water and sewer regulations can receive on going review. Does not require P/ZC review, but should be done by April 5.
- Sign regulations should be reviewed for minor technical amendments.

“Fin” (Slang for finished....)